



THE REGIONAL MUNICIPALITY OF YORK

ADDENDUM #10

BID # RFTC-1602-24

DATE: Thursday, March 12, 2026

FOR: Construction of the Box Grove Community Housing Development - A Four (4) and Six (6) Storey, 153-Unit Building at 15 Vettese Court in the City of Markham

CLOSING DATE: Tuesday, March 25, 2026 @ 1:00 PM Eastern Standard Time

Bidders are requested to incorporate the changes/clarifications noted below to the above noted Bid Documents in your possession and be governed accordingly.

1. SPECIFICATIONS – CONTRACT ITEMS

- a) The following revisions have been made to Appendix C – Part 4 – Division 1 Specifications
 - i. Specification Section 01 20 00 - Cash Allowances has been **deleted** in its entirety and **replaced** with 01 20 00 - Cash Allowances - Addendum #10 Revised
 - Door Hardware Cash Allowance removed. Door Hardware Schedule added to Appendix C – Part 4 (see below)
- b) The following revisions have been made to Appendix C – Part 4 – Division 2-32
 - i. Specification Section 08 87 26 - Bird Control Film has been **deleted** in its entirety and **replaced** with 08 87 26 - Bird Control Film – Addendum #10 Revised.
- c) The following revisions have been made to Appendix C – Part 4:
 - i. Door Hardware Schedule **added**.
- d) The following revisions have been made to Appendix C – Part 7 – Architectural Drawings:

- i. Drawing A2.02 has been **deleted** in its entirety and **replaced** with A2.02 Addendum #10 Revised.
 - ii. Drawing A2.06 has been **deleted** in its entirety and **replaced** with A2.06 Addendum #10 Revised.
 - iii. Drawing A2.08 has been **deleted** in its entirety and **replaced** with A2.08 Addendum #10 Revised.
 - iv. Drawing A2.09 has been **deleted** in its entirety and **replaced** with A2.09 Addendum #10 Revised.
 - v. Drawing A2.18 has been **deleted** in its entirety and **replaced** with A2.18 Addendum #10 Revised.
 - vi. Drawing A10.02 has been **deleted** in its entirety and **replaced** with A10.02 Addendum #10 Revised.
 - vii. Drawing A12.03 has been **deleted** in its entirety and **replaced** with A12.03 Addendum #10 Revised.
- e) The following revisions have been made to Appendix C – Part 7 – Electrical Drawings:
- i. Drawing E200 has been **deleted** in its entirety and **replaced** with E200 Addendum #10 Revised.
 - ii. Drawing E302 has been **deleted** in its entirety and **replaced** with E302 Addendum #10 Revised.
 - iii. Drawing E401 has been **deleted** in its entirety and **replaced** with E401 Addendum #10 Revised.
- f) The following revisions have been made to Appendix C – Part 7 – Landscape Drawings:
- i. Drawing LP-1 has been **deleted** in its entirety and **replaced** with LP-1 Addendum #10 Revised.
 - ii. Drawing LP-4 has been **deleted** in its entirety and **replaced** with LP-4 Addendum #10 Revised.
- g) The following revisions have been made to Appendix C – Part 7 – Mechanical Drawings:
- i. Drawing M1.00 has been **deleted** in its entirety and **replaced** with M1.00 Addendum #10 Revised.
 - ii. Drawing M2.01 has been **deleted** in its entirety and **replaced** with M2.01 Addendum #10 Revised.
 - iii. Drawing M2.02A has been **deleted** in its entirety and **replaced** with M2.02A Addendum #10 Revised.
 - iv. Drawing M2.02B has been **deleted** in its entirety and **replaced** with M2.02B Addendum #10 Revised.
 - v. Drawing M2.03A has been **deleted** in its entirety and **replaced** with M2.03A Addendum #10 Revised.

- vi. Drawing M2.03B has been **deleted** in its entirety and **replaced** with M2.03B Addendum #10 Revised.
- vii. Drawing M2.05A has been **deleted** in its entirety and **replaced** with M2.05A Addendum #10 Revised.
- viii. Drawing M2.05B has been **deleted** in its entirety and **replaced** with M2.05B Addendum #10 Revised.
- ix. Drawing M2.06A has been **deleted** in its entirety and **replaced** with M2.06A Addendum #10 Revised.
- x. Drawing M3.01B has been **deleted** in its entirety and **replaced** with M3.01B Addendum #10 Revised.
- xi. Drawing M3.02B has been **deleted** in its entirety and **replaced** with M3.02B Addendum #10 Revised.
- xii. Drawing M3.03B has been **deleted** in its entirety and **replaced** with M3.03B Addendum #10 Revised.
- xiii. Drawing M3.04B has been **deleted** in its entirety and **replaced** with M3.04B Addendum #10 Revised.
- xiv. Drawing M3.05A has been **deleted** in its entirety and **replaced** with M3.05A Addendum #10 Revised.
- xv. Drawing M3.06A has been **deleted** in its entirety and **replaced** with M3.06A Addendum #10 Revised.
- xvi. Drawing M5.00 has been **deleted** in its entirety and **replaced** with M5.00 Addendum #10 Revised.
- xvii. Drawing M5.05 has been **deleted** in its entirety and **replaced** with M5.05 Addendum #10 Revised.

2. BID FORM

Item CA2 has been deleted

3. BIDDERS QUESTIONS (Q) AND REGION'S RESPONSES (A)

Question 1:

Refer to Question #6 from addendum #7 regarding detail for folding table support in laundry.

Answer 1:

Refer to drawing A10.01 and detail 9 on drawing A12.04 issued with addendum #8.

Question 2:

Please provide bollard detail and location

Answer 2:

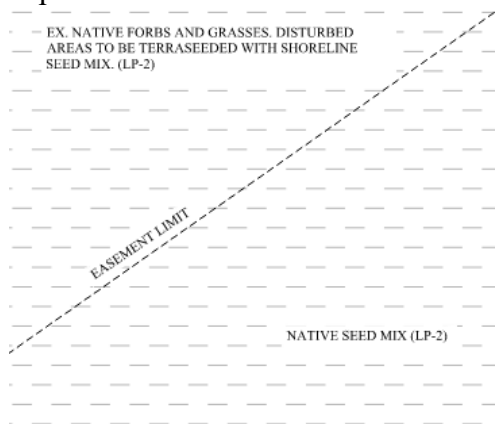
Refer to detail 12/A1.02 for bollard detail. Refer to A1.01 Site Plan for Bollard locations.

Question 3:

Please locate the Eco blanket on landscaping drawings

Answer 3:

The Eco blanket area is labeled on LP-1 as "terraced with shoreline seedmix" and depicted with a dash hatch.



Question 4:

1. Noting the change to aluminum windows in Addendum 4, please confirm the windowsill details are as illustrated on drawing A6.0, for example 4/A6.01 and 8/A6.01.
2. Please provide profile and material for the wood baseboards at units, noted on drawing A9.04.
3. Please provide detail for the open counter at Suite C, drawing 3/A2.18.
4. Please confirm the countertop edges are dripless as shown on A12.03 and A12.04 drawings.
5. Regarding Q&A 1, 5, 6, and 10 in Addendum 7, please provide this data in a color specific finish schedule for the millwork for better clarification.

Answer 4:

1. Refer to revised A6.01 issued for Addendum 10 for aluminum window details.
2. Profile and material for wood baseboards as specified in Section 06 20 00 Finish Carpentry Part 2.2 Manufactured Wood Trim
3. Refer to detail 9/A12.03 issued for Addendum 10.
4. Countertop edges are not dripless. Refer to revised A12.03 and A12.04 issued for Addendum 8.

5. Colours to be confirmed prior to ordering. Basis of Design for all counters unless noted otherwise is: Silestone Blanco Maple: Basis of Design for all millwork cabinetry unless noted otherwise is: Arborite W459 LE Summer Elm, Refer to revised Sections 06 20 00 Finish Carpentry and 06 40 00 Architectural Woodwork.

Question 5:

Can you please only confirm the concrete specification for the concrete flatworks. The specifications call for 35MPa C-1. Typically, 32MPa C-2 is specified.

Answer 5:

Please clarify “flatworks”. If site plan, please refer to site plan engineering drawings. Exposure requirements are listed on S1.1 in Concrete and Rebar Notes.

Question 6:

Drawings do not seem to provide details on top bars. Could you please confirm top bars in the Raft slab.

Answer 6:

Refer to revised Structural drawings issued with Addendum #8.

Question 7:

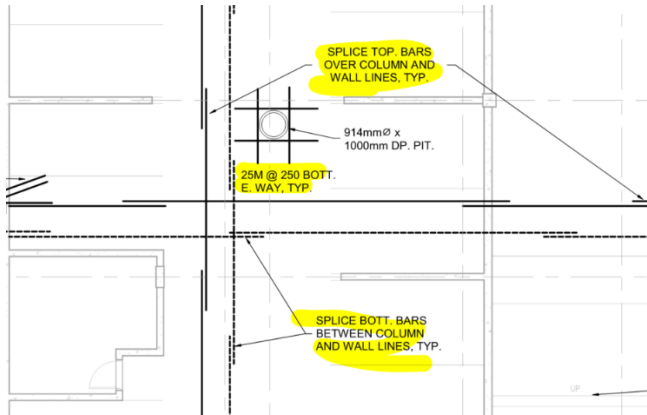
Regarding the drawing A0.01 OBC Matrix and Project Statistics: The current GFA is listed as 11,967 m². However, drawing it indicates a Parking Level (F3 Occupancy) of 4,828 m². Please confirm if the 11,967 m² figure is intended to include the parking garage area or if the total construction GFA should be revised to approximately 16,795 m² to account for the underground structure.

Answer 7:

The OBC Matrix refers to the GFA as defined in the OBC and therefore is not inclusive of the parking garage.

Question 8:

Referring to the subject project, could you please confirm top bars in the Raft slab. Dwg S2.1a



Answer 8:

Refer to revised Structural drawings issued with Addendum #8.

Question 9:

Referring to S2.2a Could you please confirm top bars & bottom bars to be considered as
 a. All bottom bars are broken lines & top bars are continuous lines. b. As per suffix, bottom & Top bars and Temperature bars for Top in both directions where not mentioned.

Answer 9:

- a. Correct, they are labeled T for Top and B for Bottom.
- b. Temperature bars are bottom only in direction noted.

Question 10:

Referring to the Hydrology Report, could you please confirm which manhole should be used for the dewatering discharge—stormwater or sanitary? Could you please provide discharge rate?

Answer 10:

Refer to 01 50 00 (1.26) in Appendix C – Part 4 – Division 1 Specifications. The successful bidder is responsible for developing the temporary dewatering plan for permitting. For stormwater or sanitary discharge points and Discharge rates refer to Hydrological Investigation report found in Appendix C – Part 6. Refer to table 10: Calculated maximum total dewatering rate including factors of safety. Refer to section 9: Permit Requirements and Dewatering Discharge.

Question 11:

Door Type O shown on the suite door schedules shall be considered Door Type D. Please confirm.

Answer 11:

Yes. That is a typo. Confirming doors SA-05 and SB-05 are type D. To be revised on IFC set.

Question 12:

Addendum #7 drawing A1.01 mentions one of the outdoor patio areas to be 'interlocking paver 2'. Landscape drawings show this area to be wood deck. Please confirm which is to be followed.

Answer 12:

Please follow revised drawing A1.01 issued with addendum #8 for this 'interlocking paver 2' area. Revised landscape drawings to be issued in forthcoming addendum to capture this change.

Question 13:

To confirm a few of the flooring products that seem vague when comparing the room finish schedule on A9.03 and division 9 of the specifications. 1. In the room finish schedule, vinyl is indicated for corridors on floors 2-6. Is this the same vinyl to be used in the suite areas? 2. Floor tile is indicated for all laundry rooms, both amenity rooms and the ground floor kitchen, however the division 9 tile work section has no mention of these areas. Which floor tile will these areas get?

Answer 13:

Refer to revised room finish schedule A9.03 and revised 09 30 10 - Tile Work specification issued with Addendum 8.

Question 13:

Could you please provide more info about SB3 & BP1 indicated on Structural drawings?

Answer 13:

Refer to revised structural drawings issued with addendum#8

Question 14:

The Flooring in the corridor on Floors 2-6 is vinyl? Same as the vinyl floors in the suites which is the Expona Pur 'Natural Brushed Oak' ? • The Flooring in the corridor on Parking Level and Ground floor are ceramic tile? Which is the Olympia 6in X 36in 'Oak' Porcelain Tile? • I see it says Olympia Tile 3in X 12in 'Ivory' for the elevator lobbies wall tile which I see in the elevation drawings however it also shows Centura 12in X 24in 'Mid Grey' (Elevator lobbies wall tile - All floors) and I do not see that elevation drawings? • Can you also please clarify which ceramic tile is being used in the following rooms: o 101-Vest. o 101B-Mail Room o 102-Mail Delivery o 103-Office Mngr. o 104-Office Mngr. o 110-Amenity o 111-Kitchen o 504-Amenity.

Answer 14:

Refer to revised architectural drawings and 09 30 00 – Tile Work specification issued with addendum #8. Please clarify if any part of this question has not been addressed.

Question 15:

Can you please clarify if you want coved base in the parking garage or just a 4in high perimeter with caulking where the wall meets the floor. - Also, can you tell me which section the ESD coating is required for? I'm assuming only in the electrification room. - I will also assume there is a coved base required in all garbage, janitor, moving rooms etc. Please confirm where this ESD epoxy is required? Is it only is PH05?

Answer 15:

Refer to A9.03 Room Finish Schedule issued for Addendum #8 for epoxy floor finish locations. Epoxy flooring to have coved base.

Question 16:

Can you please confirm, will you be sending laminate material callout for millwork so we can submit our quote? We need this for drawings A12.01 to A12.04. It says P-Lam but we need to know colour (high gloss white, etc), do you have a manufacturer (Wilsonart etc) you're looking for?

Answer 16:

Refer to response to question #4 above.

Question 17:

Neither 07 27 00 or 07 52 00 spec the technical requirements for the roof vapour barrier. 07 52 00 states the vapour barrier should be self-adhered. We recommend the vapour

barrier is either torch or mop applied as the self-adhered membrane will not be ideal on concrete decks, especially precast • OIRCA members are not permitted to offer warranties greater than two years, however, spec section 07 52 00 requests 10-year OIRCA warranty. Please confirm the warranty requirement can be reduced. There is no issue with 10-year manufacturer warranty.

Answer 17:

Refer to revised specification section 07 52 00 Issued for Addendum 8, and response to question #29 in addendum #9.

Question 17:

Could you please confirm the rebar for beam type CB in drawing S2.2a.

Answer 17:

Please clarify location.

Question 18:

Please review the following millwork concerns and advise accordingly. 1. Section 06 20 00, subsection 2.2, Corridor handrails: Please specify the locations and extent of these handrails.

2. Section 06 20 00, subsection 2.2, Corridor handrails: Please provide detail for wood handrails.

3. Section 06 20 00, subsection 2.1.3.4: Please provide detail for the maple mailbox shelf.

4. Section 06 20 00, subsection 2.1.3.4: Please provide detail for the maple bench.

5. Section 06 40 00, subsection 2.9.11.6, Sliding Door Tracks: Please advise the location for the track assembly.

Answer 18:

1. Reference to corridor handrails removed.

2. Corridor Handrails Removed

3. Section 06 20 00, subsection 2.1.3.4 removed.

4. Section 06 20 00, subsection 2.1.3.4 removed.

5. Section 06 40 00, subsection 2.9.11. reference to sliding door tracks removed

Question 19:

Drawing S2.0: Regarding the beam shear stirrups specified as 10x3-15M stirrup @ 200 Full span, could you please provide a section detail. For a clarification to identify the configuration represented by the 10 in this.

Answer 19:

The 10 is a typo and can be ignored. These will go full span @200mm.

Question 20:

Section 07 21 16 specifies the use of mineral wool, while Section 09 21 16 allows for either mineral wool or fiberglass. Could you please clarify which requirement we should follow?

Answer 20:

Mineral wool

Question 21:

Section 07 21 20 talks about foundation rigid insulation at interior of perimeter foundation walls, below concrete slab to top of raft slab, exterior face of perimeter foundation walls etc. But there are no such indication on drawings. Please confirm if foundation rigid insulation is not applicable for this project.

Answer 21:

Foundation rigid insulation is not applicable to this project at parking garage perimeter. Insulation is between the parking garage and main floor and as noted on drawings.

Question 22:

On the concrete beam schedule, CB2 is noted as 2000×1000 DP; however, on drawing S2.2A, CB2 is shown as 1500×900 DP and 2000×1000 DP.

Answer 22:

Refer to revised structural drawings issued with previous addendums.

Question 23:

Can we resize the pump, or do we need to allow for the 80psi@500 gpm shown on tender drawings.

Answer 23:

Please clarify the question.

Question 24:

Can we get the hydraulic calculations to see if there is downsizing or other materials that may work better for the application?

Answer 24:

Value engineering can be reviewed post-award. Bidders are to price as per the contract documents.

Question 25:

Will Daversa remain as the Engineer of record, or can the awarded sprinkler contractor to take that over?

Answer 25:

Daversa will remain the Engineer of Record, as they prepared the design drawings and specifications. The sprinkler contractor will be responsible for preparing shop drawings for review and approval in accordance with the contract documents.

Question 26:

Rectifying one of the previous questions submitted: Will the city be carrying for the aerial rights of the crane?

Answer 26:

Refer to addendum #8, response to question #26.

Question 27:

The borehole data shown in supplementary Geotech report show topsoil thickness ranging from 100mm to 300mm. Borehole data from Soil Management Plan show topsoil thickness ranging from 300mm to 760mm. There is a significant difference and cost implication between the average thicknesses from the two reports. Please confirm which one we should follow.

Answer 27:

All geotechnical reports provided with the tender documents are relevant and shall be considered. The boreholes referenced in the reports were taken at different locations across the site, and the variation in topsoil thickness reflects natural differences in soil stratigraphy across the site.

Question 28:

Item 3.4 from Supplementary Geotech report and some borehole log data suggest that free water was encountered in areas where bulk excavation takes place. Please confirm what type of dewatering system that the engineer recommends for this project.

Answer 28:

Refer to response to question #10 above. The successful bidder is responsible for developing the temporary dewatering plan.

Question 29:

Regarding '02 31 50 - Excavating, Trenching and Backfill, item 3.8.1 Exterior side of perimeter walls: use Type 3 fill to subgrade level to within 1200mm of exterior wall and Type 2 fill within 1200mm to wall face. Compact to 95% Standard Proctor Dry Density'. Could you please elaborate what you mean by 1200mm to wall face as opposed to 1200mm of exterior wall?

Answer 29:

Clarification: Type 3 up to 1200mm from wall face, then type 2 from 1200mm to wall face.

Question 30:

Please provide the locations and details for the exterior rail referenced in Section 05 52 00, Note 2.4.5.

Answer 30:

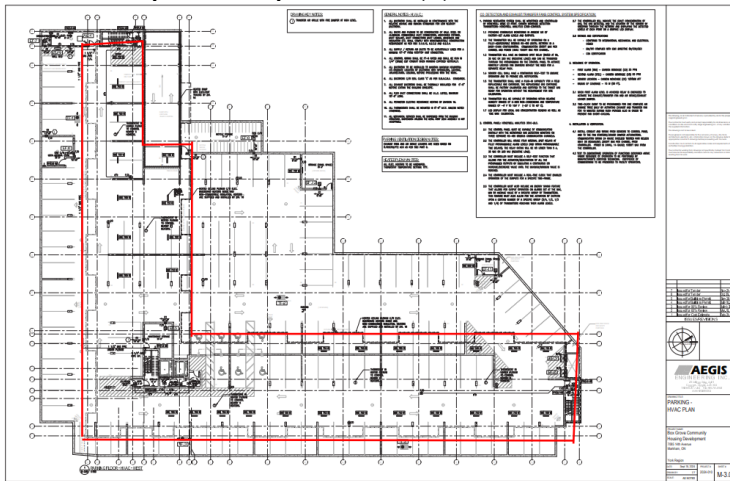
Refer to question # 7(4) from addendum #8. Note 2.4.5 can be disregarded.

Question 31:

Please provide details for the steel beam with bottom plate shown on Architectural Section 2/A5.04, which is not indicated on the structural drawings. Kindly also provide similar details for the louvers at the garage entrance (gridlines G/16–17).

Answer 31:

Refer to response to question #9(1) from addendum #8



Question 32:

Drawing E201 indicates a sub-metering system for all 153 suites. However, the electrical specifications do not identify a supplier, manufacturer, or acceptable product. Please confirm whether the sub-metering system is to be provided by the Contractor or by York Region. If it is to be provided by the Contractor, please provide the required specifications, approved manufacturers, and performance criteria for pricing and coordination.

Answer 32:

Sub metering to be provided by York Region and installed by Electrical Contractor. Installation costs to be negotiated and reimbursed.

Question 33:

Addendum 04 provided Meter Monitoring Based Commissioning Plan, please confirm if the supply and installation cost of sub metering system for 153 suits and public areas to be included by Owner cash allowance, if this contractor to include those cost please provide the missing sub metering system specification and or if any preselected metering company for this electrical contractor to get quote.

Answer 33:

Refer to response above to question #32

Question 34:

Addendum 7 noted deletion of E-100 and replaced with E203 Addendum E-2. However, E-100 is still attached in the electrical drawings issued with this addendum. Please confirm what is deleted.

Answer 34:

This was a misprint. This should have read “Drawing E-100A has been **added**”. Drawing is titled “Electrical Site Plan Details”. E-100 has not been deleted.

Question 35:

Please advise if the transformer and the high voltage pole and wiring are part of the base bid for this project. Usually, these scope would be provided by Alectra. Please confirm.

Answer 35:

High voltage is part of this project, and is to be carried out under Division 16.

Question 36:

Please have official response from consultant and advise if panels that indicate SPD are to be integral to panel or external. 1. Panel schedule notes as TVSS as “within” and spec is showing external only. 2. If integral SPDs are accepted, please have EATON be added to 26 43 13 SPD spec as approved manufacturer.

Question 36:

Electrical panel SPD to be external

Question 37:

Electrical needs the following missing information to price even the 30%. Please provide:

- power and system drawings are not circuited for wiring devices and mechanical connections
- single line no feeders size are provided
- Electrical panels schedule not provided. Suppliers are not committed to price the distribution without these information

- Cable tray is specifies but not on drawings . If needed will be installed under the raised floor or in the ceiling
- Grounding riser is to be provided

Answer 37:

1. Issued for Tender set is complete, and all information shown. Please clarify missing information.
2. Issued for Tender set is complete and all information shown.
3. Issued for Tender set is complete and all information shown.
4. Cable tray to be in ceiling.
5. Refer to Addendum #2

Question 38:

Referring to the suite panels, only the following schedules are shown on the drawing: PP-2SA1, PP-2SB1, PP-2TJ1, PP-2SG1, PP-2SL2, PP-2SN2. However, there are numerous schedules missing. Are you able to get those schedules and confirm the exact number of suites and arc fault breakers per panel type? It is correct to assume as per drawing E201 Electrical Single Line Riser that it would be a typical schedule for panels PP-2S#6? The schedules don't correlate to that. Please advise

Answer 38:

Issued for Tender set is complete, and all information shown. Please review all revised drawings issued through addendums and clarify if information is still missing.

Question 39:

Do all panels and swbds need to be seismic rated?

Answer 39:

No seismic rating required on panels.

Question 40:

Panel MP-2MA1 has a 600A main breaker with 84ccts filled in the board. If all breakers are needed, then this will have to be a double section board. I do see there are 11 breakers noted as spares in the board (3x 2P20A, 4x 1P15A, 2x 1P20A, 1x 2P100A, 1x 2P40A). Can we omit some, if not all of these spares? That way, we can keep board as one single section

Answer 40:

Double panel tub is acceptable.

Question 41:

Is there a need for an external ground fault relay + zero sequence CT for the main breaker in the switchboard? Some breakers are capable of tripping on ground fault at the desired pickup using a ground fault CT tied to our ground strap (source ground instead of residual)

Answer 41:

Yes, this is required.

Question 42:

Please confirm if the consultant has performed any preliminary coordination with Alectra Utilities for temporary power, or if the Contractor is responsible for the full design, engineering, and application process from scratch. Given the 505-working-day schedule and the immediate need for power for site trailers and crane mobilization, can the Region provide a dedicated contact at Alectra or any existing - Account/Project Number already assigned to this site to expedite the min 4-week design review period?

Answer 42:

Construction temporary power to be coordinated by General Contractor.

Question 43:

Is ENT conduit accepted with in suites?

Answer 43:

No, provide EMT only.

Question 44:

Is number 14-gauge wire allowed in suites for 15AMP circuits?

Answer 44:

No, #12 AWG minimum.

Question 45:

Are Aluminum feeders accepted? Over 60AMP?

Answer 45:

No, provide copper as per specs.

Question 46:

Is aluminum bussing and winding acceptable?

Answer 46:

Yes

Question 47:

The drawings do not have a Kirk Interlock drawing, which would be a requirement from ESA. Is there an approved ESA plans approval document for the high voltage? As well as the interlock drawing, this scheme should include transformer, C/O primary switch and main breaker. Please provide same.

Answer 47:

Refer to Addendum #2

Question 48:

Can you confirm this about the Transformer schedule: 1. Please advise if we are to include for these 2 transformers (yellow highline) or its supply by the elevator?

Answer 48:

480V transformer supply by elevator manufacturer. Review at shop drawing stage.

Bidders shall acknowledge receipt of all addenda to this RFT prior to submitting their Bid. Bids that do not contain evidence of receipt of all addenda will be deemed to be “incomplete” and will not be accepted in the Bidding Website.

This addendum shall remain attached to and form part of the Contract Documents.

Yours truly,



Nanda Persaud
Senior Procurement Specialist
Procurement Office

Attachments: (8) The following are attached to this Addendum #10 and uploaded separately in the Bidding Website

1. RFTC-1602-24 – Bid Form Revised (Addendum #10)
2. RFTC-1602-24 – Appendix C – Part 4 – 01 20 00 Cash Allowances (Addendum #10)
3. RFTC-1602-24 Appendix C - Part 4 - 08 87 26 - Bird Control Film (Addendum #10)
4. RFTC-1602-24 Appendix C - Part 4 - Door Hardware Schedule (Addendum #10)
5. RFTC-1602-24 Appendix C - Part 7 - Architectural Drawings (Partial Revision) – (Addendum #10)
6. RFTC-1602-24 Appendix C - Part 7 - Electrical Drawings (Partial Revision) – (Addendum #10)
7. RFTC-1602-24 Appendix C - Part 7 - Landscape Drawings (Partial Revision) – (Addendum #10)
8. RFTC-1602-24 Appendix C - Part 7 - Mechanical Drawings (Partial Revision) – (Addendum #10)